

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



PLANNING &
DEVELOPMENT
DEPARTMENT

PROPERTY

Address 1515 Columbia Street

Historic District / Landmark Houston Heights East Historic District

HCAD # 0201330000009

Subdivision Houston Heights

Lot 9

Block 137

DESIGNATION TYPE

- Landmark Contributing
 Protected Landmark Noncontributing
 Archaeological Site Vacant

PROPOSED ACTION

- Alteration or Addition Relocation
 Restoration Demolition
 New Construction Excavation

DOCUMENTS

- Application checklist for each proposed action and all applicable documentation listed within are attached

OWNER

Name _____

Company Lighthill Partners LLC

Mailing Address 1144 Heights Blvd
Houston TX 77008

Phone 713.240.2512

Email [REDACTED]

Signature [Signature]

Date 9/2/15

APPLICANT (if other than owner)

Name Carrie Gonzales

Company Richard Grothues Designs, Inc

Mailing Address 10810 Katy Frwy Suite 204
Houston Tx 77043

Phone 832.226.4232

Email [REDACTED]

Signature [Signature]

Date 9/2/15

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Deed Restrictions: You have verified that the work does not violate applicable deed restrictions.

Public Records: If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: _____ Application received: ___/___/___ Application complete: ___/___/___

CERTIFICATE OF APPROPRIATENESS APPLICATION INSTRUCTIONS



PLANNING &
DEVELOPMENT
DEPARTMENT

Well in advance of the COA application deadline contact staff to discuss your project, application requirements, and, if necessary, to make an appointment to meet with staff for a project consultation. Visit the Historic Preservation Web Manual for historic district profiles, project guidance and forms. www.houstontx.gov/HistoricPreservationManual

Historic Preservation Office	832.393.6556	historicpreservation@houstontx.gov
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SUBMISSION INSTRUCTIONS

To submit application to Planning Department:

- email documents to historicpreservation@houstontx.gov (attachments must be less than 10MB)
- send a Dropbox shared folder invitation to historicpreservation@houstontx.gov, or
- contact staff to set up an appointment to drop off a disc or flash drive.

MEETING SCHEDULE

- Applications are due **22 calendar days** in advance of the HAHC meeting by **12 PM (noon)** on the deadline date. Exception: revisions to items deferred or denied at the previous HAHC meeting are due 15 days in advance of the scheduled meeting.
- Application deadlines are firm. All materials must be submitted by the deadline to be considered at the following HAHC meeting. Designs must be final at time of application; revisions will not be accepted after the deadline.
- HAHC will not accept new material or redesigns presented at the HAHC meeting. Deferral until the following month's meeting may be necessary in such cases to allow for adequate review by staff and commissioners.
- HAHC monthly meetings are held at 3:00 PM at City Hall Annex, 900 Bagby Street, City Council Chambers, Public Level.

2015 Meeting Dates (Thursdays unless noted otherwise)	COA Application Deadlines	Demolition / Relocation Posted Sign Deadlines
January 29	January 7	January 19
February 26	February 4	February 16
March 26	March 4	March 16
April 23	April 1	April 13
May 21	April 29	May 11
June 18	May 27	June 8
July 22 (Wednesday)	June 30	July 12
August 27	August 5	August 17
September 24	September 2	September 14
October 22	September 30	October 12
November 19	October 28	November 9
December 16 (Wednesday)	November 24	December 6

CERTIFICATE OF APPROPRIATENESS APPLICATION PART I – GENERAL FORM



PLANNING &
DEVELOPMENT
DEPARTMENT

DEFINITIONS

Addition: any expansion to an existing building, structure or object.

Alteration: any change to the exterior of a building or structure, including adding, moving, removing or replacing an exterior feature.

Demolition: an act or process that destroys in whole, or a majority of, any building, structure, object or site.

Excavation: to expose, uncover, or remove by digging, cutting or hollowing out.

Exterior Feature: an element of the architectural character and the general arrangement of the external portion of a building, structure or object, including building materials.

Mandatory Repair: a repair of a building or structure that is necessary to comply with Article IX, Ch. 10, Houston Code of Ordinances, as evidenced by an order of the hearing official or the building and standards commission or by a citation.

New Construction: the erection of a new building, structure, or object, on a lot, site, or other property.

Relocation: any change in the location of a building, structure, or object.

Restoration: accurately recovering the form and detail of a building, structure, object, or site and its setting as it appeared at a particular period of time by means of the removal of later work, or by the replacement of missing earlier work, or both.

To be completed by
PLANNING STAFF:

Application received by:
Accepted as complete by:

Date:

Date:

1515 Columbia Street Remodel/Addition

Legal Description:

LT 9 BLK 137 Houston Heights

Address:

1515 Columbia Street, Houston TX 77009

Current Conditions:

The house is in good condition. House has been previously altered, but date of alterations are unknown. The porch columns and railing are not original. The doors, windows, and siding are not original.

Proposed Work:

Remodel interior of existing house. Replace all exterior vinyl siding and bricks with 117 wood siding. Replace all windows with single hung energy efficient windows. Replace front doors with historic doors. Remove metal structure at the back of the property that is encroaching into the alley. Add single story addition to rear of house and a garage with game room above with alley access.

Current Building Materials:

The house none of the existing Doors, Siding, Trim, or windows.

Proposed New Materials:

- Wood Trim Boards
- 117 Wood Siding
- Historic Wood Craftsman Front Door
- Glass Panel Door for Side Porch

Front Elevation

Sides

Rear

Metal Building



First American Title Company, LLC

1512 Heights Boulevard • Houston, TX 77008

Office Phone:(713)529-8800 Office Fax:(713)529-2115

Final Settlement Statement

Property: 1515 Columbia Street, Houston, TX 77008
Lot: 9

File No: 2048083-11583

Officer: Jeffery Laird/CF

Settlement Date: 08/26/2015

Disbursement Date: 08/28/2015

Print Date: 08/28/2015, 11:39 AM

Buyer: Lighthill Properties, LLC
Address: 1144 Heights Boulevard, Houston, TX 77008

Seller: Scott Rodabaugh

Address:

Lender: West Bay Capital, LLC

Address: 11755 Wilshire Boulevard, Suite 1800, Los Angeles, CA, 90025

New Loan No.:

Buyer Charge	Buyer Credit	Charge Description	Seller Charge	Seller Credit
		Consideration:		
450,000.00		Total Consideration		450,000.00
		Deposits in Escrow:		
	2,500.00	Receipt No. 115837793 on 06/17/2015 by Lighthill Properties, LLC.		
	107,619.03	Receipt No. 115838199 on 08/28/2015 by Lighthill Properties, LLC		
		Prorations:		
	2,711.50	Ad Valorem Taxes 01/01/15 to 08/28/15 @\$4140.99/yr	2,711.50	
		Commission:		
		Commission Paid at Settlement to Heights Village Realty	27,000.00	
		New Loan(s):		
		Lender: West Bay Capital, LLC		
	630,000.00	New Loan to File - West Bay Capital, LLC		
50,000.00		Holdback for Interest Reserve - West Bay Capital, LLC		
12,600.00		Loan Origination Fee - Capital Lending Resources		
1,500.00		Processing Fee - Capital Lending Resources		
5,000.00		Legal Fees - Steckbauer Weinhart, LLP		
750.00		Appraisal fee - Catechis, Campbell & Associates		
217,015.00		Construction holdback - West Bay Capital, LLC		
		Payoff Loan(s):		
		Lender: Champion Mortgage		
		Principal Balance - Champion Mortgage	266,199.79	
		Accrued Interest on Unpaid Balance - Champion Mortgage	446.34	
		MIP for current month - Champion Mortgage	109.40	
		Servicing Fee for current month - Champion Mortgage	25.00	
		Estimated Recording Fees - Champion Mortgage	34.00	
		Title/Escrow Charges to:		
80.10		Tax Certificate to Data Trace		
210.00		Document Preparation to The Laird Law Firm, PC		
700.00		Escrow Fees-TX to The Laird Law Firm, PC		
9.00		e-Recording Fee-TX to The Laird Law Firm, PC		
100.00		T-2/T-2R LTP Simul w/OTP (R-5a)-3210 to First American Title Company, LLC		
3,811.00		T-1/T-1R OTP Simul w/LTP (R-5a) 1200 to First		

Final Settlement Statement

Settlement Date: 08/26/2015
 Print Date: 08/28/2015

File No: 2048083-11583
 Officer: Jeffery Laird/CF

Buyer Charge	Buyer Credit	Charge Description	Seller Charge	Seller Credit
132.00		Record Deed of Trust/Mortgage to First American Title Company, LLC		
92.00		Record Deed of Trust/Mortgage to First American Title Company, LLC		
52.00		Record Deed of Trust/Mortgage to First American Title Company, LLC		
28.00		Record UCC - County to First American Title Company, LLC		
		Disbursements Paid:		
378.88		Survey to CBG Surveying, Inc		
		Cash (From) (To) Buyer		
		Cash (X To) (From) Seller	153,473.97	
742,830.53	742,830.53	Totals	450,000.00	450,000.00

SELLER'S AND/OR BUYER'S/BORROWER'S STATEMENT

I have carefully reviewed the HUD-1/Settlement Statement and to the best of my knowledge and belief, it is a true and accurate statement of all receipts and disbursements made on my account or by me in this transaction. I further certify that I have received a copy of the HUD-1/Settlement Statement.

The Seller's and Buyer's/Borrower's signatures hereon acknowledge their approval and signify their understanding that tax, and insurance prorations and/or escrow reserves are based on figures for the preceding year or supplied by others or estimated for the current year. In the event of any change for the current year, all necessary adjustments will be made between Buyer/Borrower and Seller directly. Any deficit in delinquent taxes or mortgage payoffs will be promptly reimbursed to the Settlement Agent by the party responsible for payment.

The following persons, firms or corporations have received a portion of the real estate commission amount shown above (HUD Line(s) 701-704):

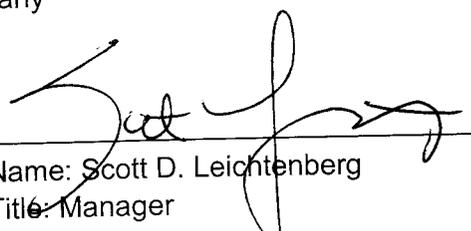
- 1.
- 2. Heights Village Realty
- 3.
- 4.
- 5.
- 6.
- 7.
- 8.

I hereby authorize the Settlement Agent to make expenditures and disbursements as shown above and approve same for payment.

Purchaser(s)/Borrower(s)
Lighthill Properties, LLC, a Texas limited liability company

Seller(s)

Scott Rodabaugh

By: 
Name: Scott D. Leichtenberg
Title: Manager

August 26, 2015
Date

August 26, 2015
Date

Borrower(s) Forwarding Address:

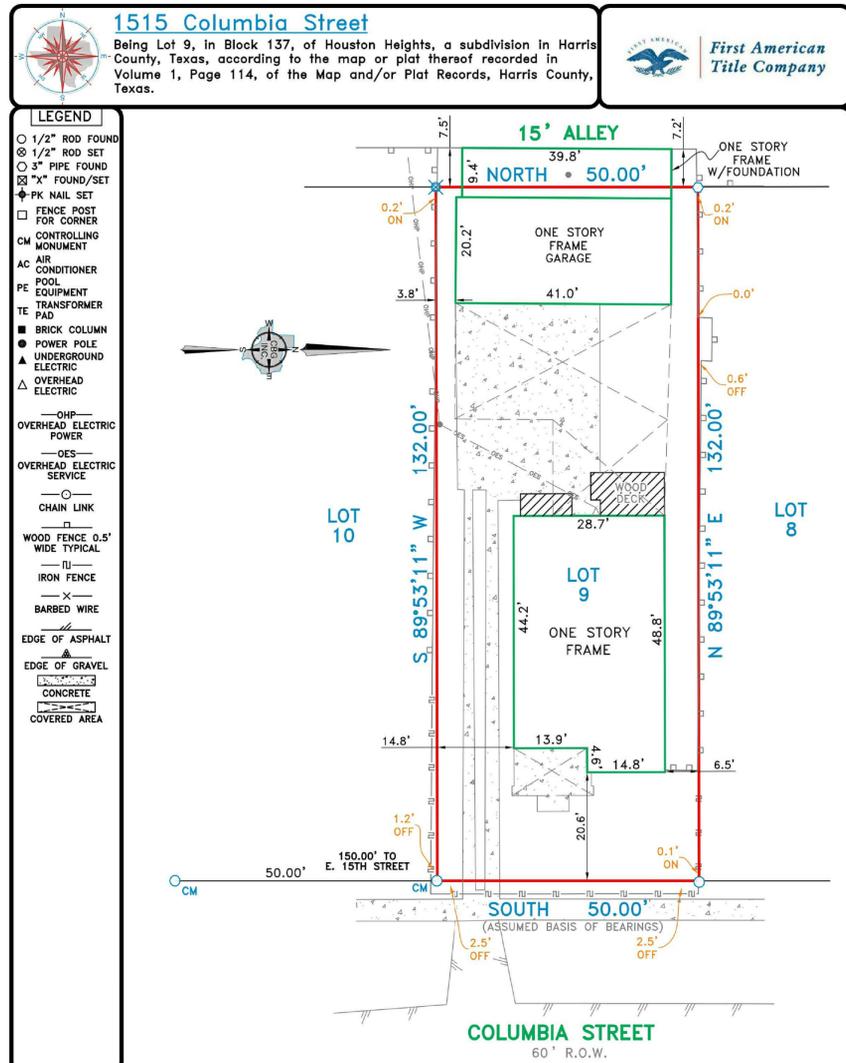
Seller(s) Forwarding Address:

The HUD-1 Settlement Statement which I have prepared is a true and accurate account of this transaction. I have caused or will cause the funds to be disbursed in accordance with this statement.

LIGHT HILL PARTNERS

REMODEL/ADDITION

1515 COLUMBIA STREET



LEGEND

- 1/2" ROD FOUND
- 3" PIPE FOUND
- "X" FOUND/SET
- PK NAIL SET
- FENCE POST FOR CORNER
- CM CONTROLLING MONUMENT
- AC AIR CONDITIONER
- PE POOL EQUIPMENT
- TE TRANSFORMER PAD
- BRICK COLUMN
- POWER POLE
- UNDERGROUND ELECTRIC
- OVERHEAD ELECTRIC
- OHP OVERHEAD ELECTRIC POWER
- OES OVERHEAD ELECTRIC SERVICE
- CHAIN LINK
- WOOD FENCE 0.5' WIDE TYPICAL
- IRON FENCE
- BARBED WIRE
- EDGE OF ASPHALT
- EDGE OF GRAVEL
- CONCRETE
- COVERED AREA

NOTES:
 NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.
 FLOOD NOTE: According to the F.I.R.M. No. 48201C0670 M, this property does lie in Zone X and does not lie within the 100 year flood zone.
 This survey is made in conjunction with the information provided by First American Title Company. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

EXCEPTIONS:
 NOTE: PROPERTY SUBJECT TO TERMS, CONDITIONS, AND EASEMENTS CONTAINED IN INSTRUMENT RECORDED IN VOL. 1, PG. 114, CC FILE NO'S V620908, V719174, W994254

Drawn By: C.C.
 Scale: 1" = 20'
 Date: 07/01/15

GF No.: 2048083-11583
 Job No.: 1509564

C.B.G. Surveying, Inc.
 12025 Shiloh Road, Ste. 230
 Dallas, TX 75228
 P 214.349.9485
 F 214.349.2216
 Firm No. 10168800
 www.cbgsurveying.com

THOMAS MAUK
 R.P.L.S. NO. 5119

#	SHEET NAME
AO.0	COVER PAGE
AO.1	SITE PLAN
AO.3	CITY FORMS
A1.0	GENERAL NOTES
A1.1	EXISTING FLOOR PLANS
A1.2	GARAGE FLOOR PLANS
A1.3	ADDITION FLOOR PLANS
A1.4	ROOF PLAN
A2.1	EXISTING ELEVATIONS
A2.2	GARAGE ELEVATIONS
A2.4	ELEVATIONS
A3.1	BUILDING SECTIONS
E.1.1	ELECTRICAL PLANS

CONTACT INFORMATION

BUILDER:

DESIGNER: RICHARD GROTHUES DESIGNS
 8734 DAWNBLUSH LANE
 HOUSTON, TX 77025
 713.449.9191

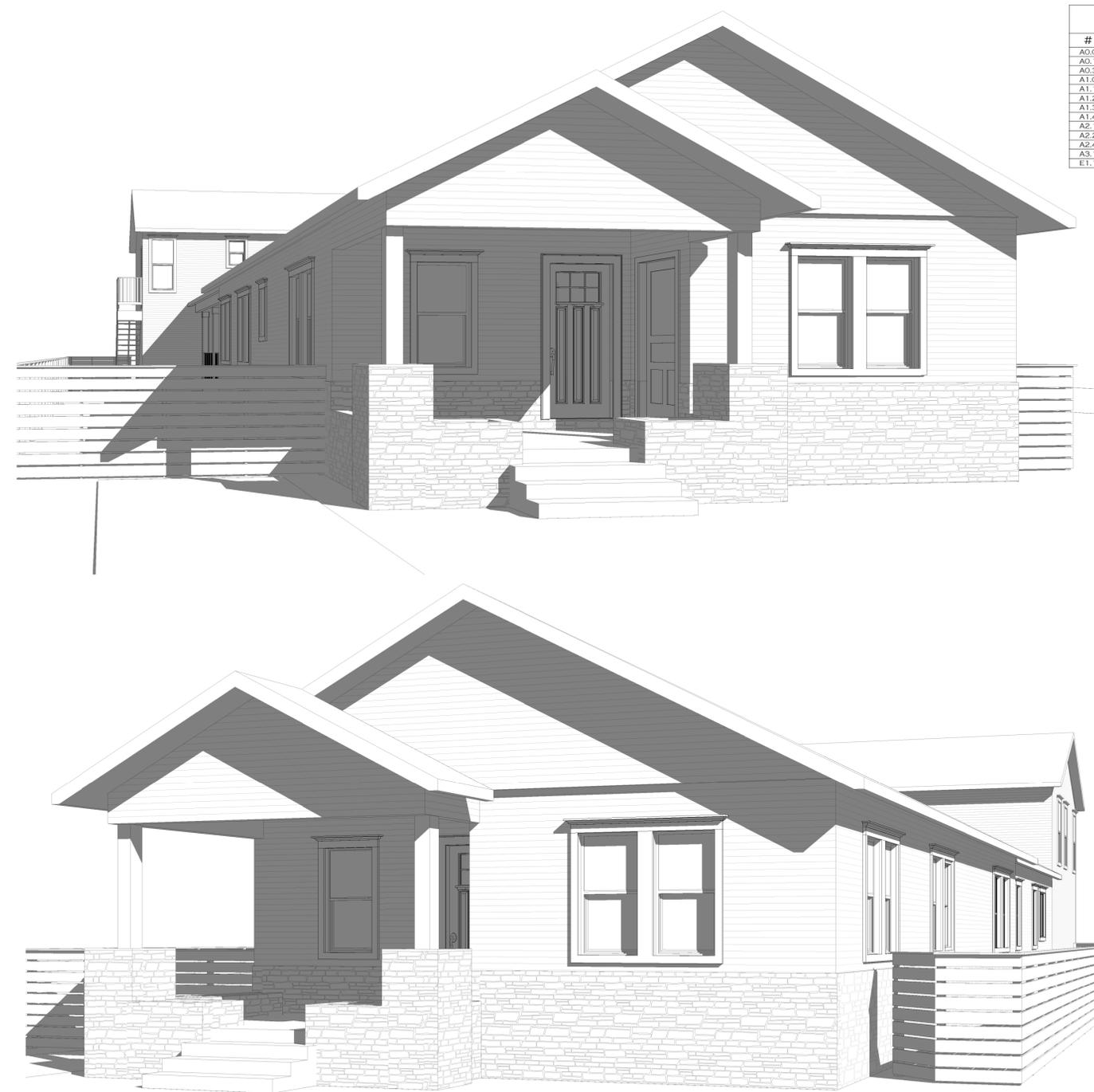
STRUCTURAL ENGINEER:

BUILDING CODE

INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS, 2012 EDITION
 UNIFORM MECHANICAL CODE, 2012 EDITION
 UNIFORM PLUMBING CODE, 2012 EDITION
 INTERNATIONAL FIRE CODE, 2012 EDITION
 NATIONAL ELECTRIC CODE, 2014 EDITION
 INTERNATIONAL ENERGY CONSERVATION CODE, 2009 EDITION

ABBREVIATIONS

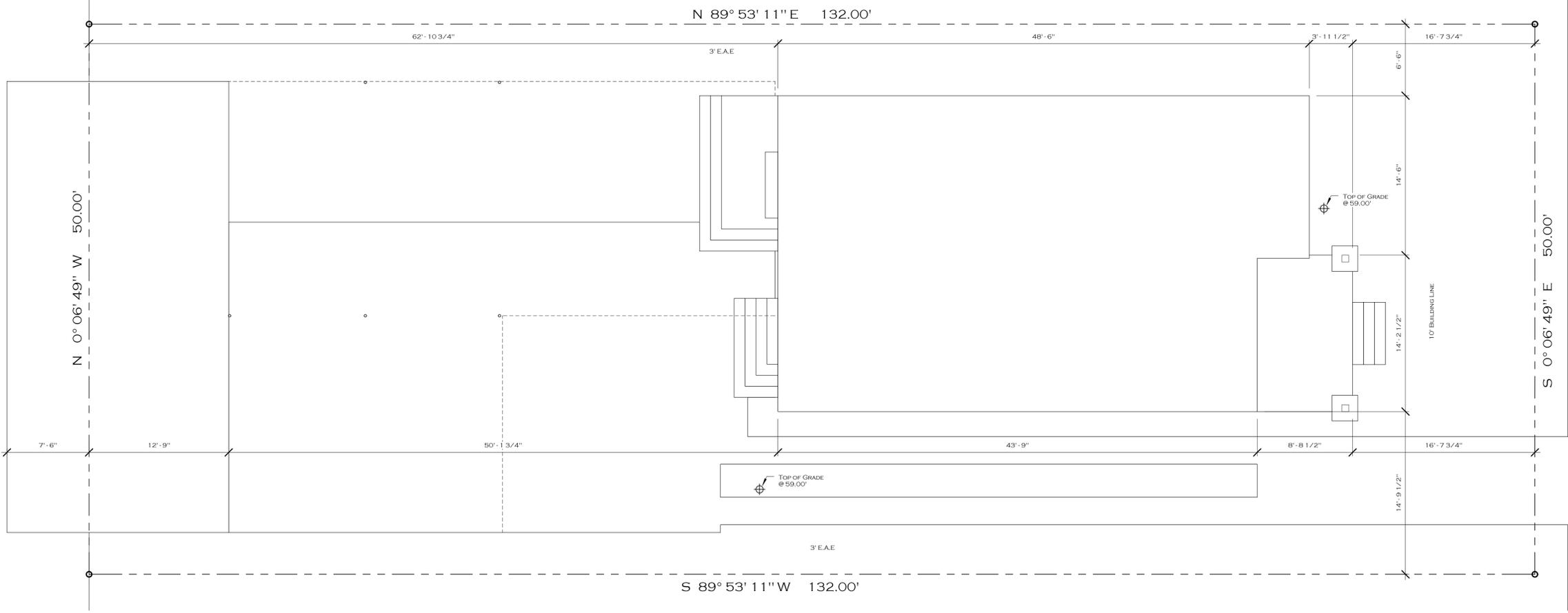
ADJUST	ADJUSTABLE	MAINT	MAINTENANCE
ADJ	ADJACENT	MAX	MAXIMUM
AF	ABOVE FINISHED FLOOR	MCH	MECHANICAL
ALUM	ALUMINUM	MFL	MISCELLANEOUS, ELECTRICAL
ANOD	ANODIZED	PLUMB	PLUMBING
AP	ACCESS PANEL	MIN	MINIMUM
ARCH	ARCHITECT/ARCHITECT	MISC	MISCELLANEOUS
URAL	ARCHITECT/ARCHITECT	MTO	MOUNTED
AT	ARCHITECT TOP	MULL	MULLION
A/C	AIR CONDITIONING	NIC	NOT IN CONTRACT
A/V	AUDIO VISUAL	NO. OR #	NUMBER
BJ	BOARD	NTS	NOT TO SCALE
BLDG	BUILDING	OC	ON CENTER
BLK	BLOCKING	OD	OUTSIDE DIAMETER
BLM	BENCH MARK	OF CI	CONTRACTOR INSTALLED
BUR	BUILT UP ROOFING	CH	OWNER FINISHED
CJ	CONTROL JOINT	OH	OVERHEAD
CLG	CEILING	ORF	OVERFLOW ROOF DRAIN
COL	COLUMN	O.S.	OVERFLOW SCUPPER
CONC	CONCRETE	PERF	PERFORATED
CONT	CONTINUOUS	PFL	PROPERTY LINE
CTSK	COUNTERSINK	PLAM	PLASTIC LAMINATE
D	DEEP / DEPTH	PLAS	PLASTER
DBL	DOUBLE	PLWD	PLYWOOD
DWG	DRAWING	PSF	POUNDS PER SQUARE FOOT
EA	EACH	RSF	ROUNDS PER SQUARE INCH
EJ	EXPANSION JOINT	R/A	RETURN AIR
EL	ELEVATION	RD	ROOF DRAIN
EXT	EXTERIOR	REQD	REQUIRED
FA	FIRE ALARM	RM	ROOM
FD	FLOOR DRAIN	SCHED	SCHEDULED
FIN	FINISH / FINISHED	SC	SOLID CORE
FTG	FOOTING	SF	SQUARE FOOT
FT	FOOT / FEET	SPEC	SPECIFICATION
FLV	FIELD VERIFY	SRO	STEEL ROOF OPENING
GA	GALVANIZED	SS	STAINLESS STEEL
GA	GAUGE	STR	STRAP
GEN	GENERAL	STL	STEEL
GNP	GUARANTEED MAXIMUM	STRUC	STRUCTURAL DRAWINGS
PRICE	PRICE	TEMP	TEMPERED
GYP	GYPSONUM	TEMP	TEMPERED EXISTING
HC	HOLLOW CORE	TYP	TYPICAL
HSCP	HANDICAPPED	UL	UNDERWRITERS
HWWR	HARDWARE	LAB	LABORATORY
HZ	HORIZONTAL	UNO	UNLESS NOTED OTHERWISE
HRZ	HORIZONTAL		
HVAC	HEATING, VENTILATION, & AIR CONDITIONING		
ID	INTERIOR DIAMETER	WC	WATER CLOSET
INSUL	INSULATED /	WD	WOOD
INSULAT	INSULATION	WR	WATER PROOFING
INT	INTERIOR	WR	WATER RESISTANT
INT	INTERIOR	WTH	WITH
JAN	JANITOR	XFMR	TRANSFORMER
JST	JOIST		
JT	JOINT		
LAM	LAMINATED / LAMINATE		
LAW	LAUNDRY		
LH	LEFT HAND		



REMODEL/ADDITION - 1515 COLUMBIA STREET

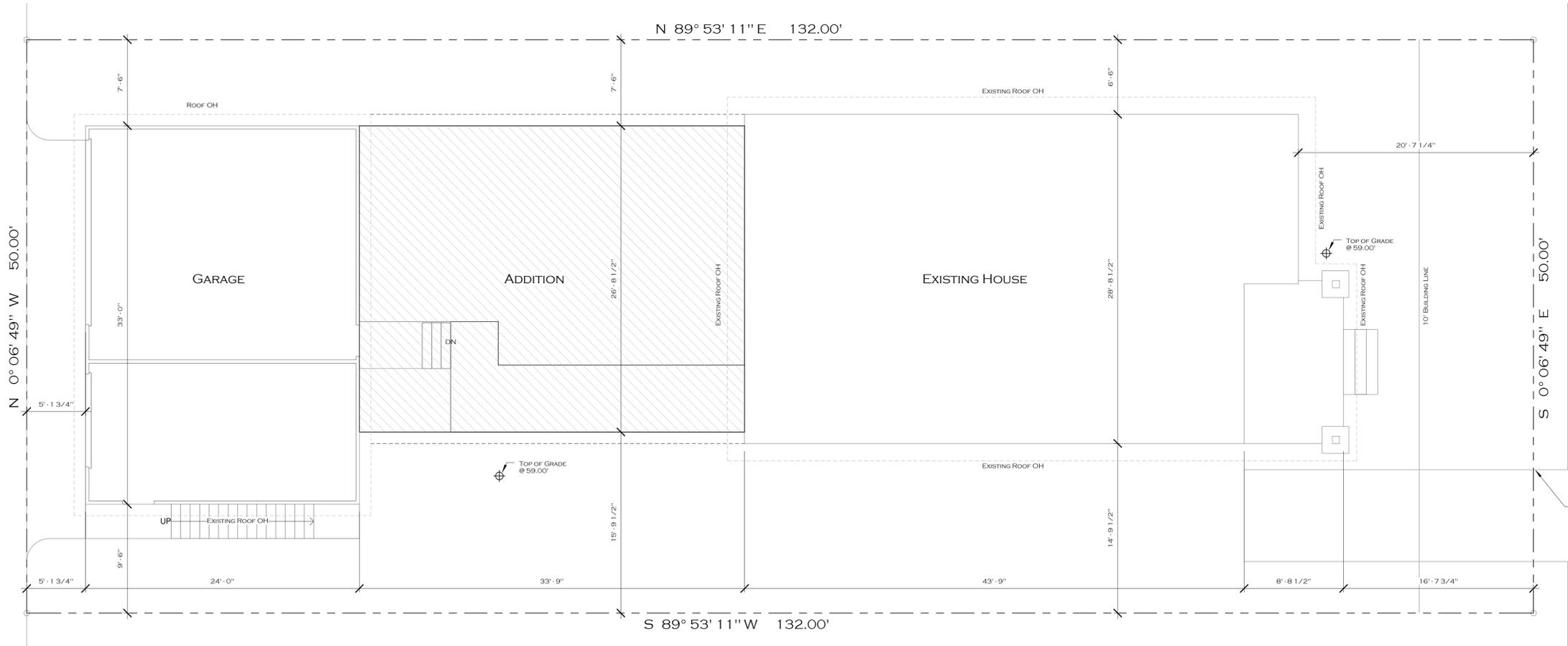
ALL LEGAL PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THE DRAFT GROUP. PURCHASERS RIGHT TO CONSTRUCT A SINGLE PROJECT ON THE LOT STATED HEREIN, AND USE IS LIMITED SPECIFICALLY TO SUCH PROPERTY. THE REPRODUCTION OR USE OF THESE PLANS CONCERNING ANY OTHER PROJECT IS STRICTLY PROHIBITED WITHOUT WRITTEN PERMISSION OF THE DRAFT GROUP. WRITTEN PERMISSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. ALL PLANS DESIGNED FOR THE CONSTRUCTION OF THE BUILDING SHOULD BE REVIEWED AND REFERENCED TO BECOME ANY CONSTRUCTION BEGINS. IN THE EVENT OF ANY CONFLICTS OR INCONSISTENCIES IN THE PLANS, THE DRAFT GROUP SHALL BE CONTACTED IMMEDIATELY. IF NO SUCH CONTACT IS MADE, THE CONTRACTOR AND SUBCONTRACTORS, THEIR AGENTS AND EMPLOYEES, ASSUME ALL LIABILITY ASSOCIATED WITH SUCH CONDUCT OR INCONSISTENCIES.

15' ALLEY



① EXISTING SITE PLAN
3/16" = 1'-0"

15' ALLEY



② SITE PLAN
3/16" = 1'-0"

LIGHT HILL PARTNERS
REMODEL/ADDITION
 1515 COLUMBIA STREET

Last Modified	8/2/2016 2:21:13 PM
Last Plot	
Job Number	2016.0049
Sheet Name	Site Plan
Sheet Number	

A0.1

General Notes

General Notes:

- Do not scale drawings. Written dimensions take precedence, contractor to verify and be responsible for all dimensions and conditions on the job and notify Richard Grohues Designs of any variations from the dimensions or conditions shown on drawings.
- All written notes on the architectural drawings shall take precedence over the minimum standard notes detailed on this sheet.
- Every sleeping room shall have at least one operable emergency escape and rescue opening. The opening shall have a sill height of not more than 44" a.f.f. All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 sq. ft. except gable floor openings shall have a minimum net clear opening of 5 sq. ft. The minimum net clear opening height shall be 24 inches and the net clear opening width shall be 20 inches (IRC 2012, Sect. R310).
- All window head heights taken from immediate interior floor level. Head heights in stairwells taken from first floor level.
- Ceiling heights taken from where the note is located on plan.
- Bathroom and shower floors and walls above bathtubs with installed shower heads and in shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet above the floor (2012 IRC Section R307.2).
- All insulation shall have a flame spread rating not to exceed 25 and a smoke density rating not to exceed 450 (2012 IRC Section R316).
- Enclosed attics and enclosed rafter spaces formed where ceilings are applied directly to the underside of roof rafters shall have cross ventilation for each separate space by ventilating openings protected against the entrance of rain or snow. Ventilating openings shall be provided with corrosion-resistant wire mesh with 1/8" minimum to 1/4" maximum spacing (2012 IRC Section R806.1).
- When garage door openers are installed, provide low voltage for shutoff and reverse sensors on both sides of overhead door.
- All walls with horizontal DWV shall be 2x6.

Attic Access Notes:

- Attics containing appliances requiring access shall be provided with an opening and unobstructed passageway large enough to allow removal of the largest appliance, but not less than 30" high and 22" wide and not more than 20 feet long when measured along the centerline of the passageway from the opening to the appliance (2012 IRC Section M1305.1.3).
- Attics containing appliances shall be provided with a pull down stairway with a clear opening of not less than 22 inches in width and a load capacity of not less than 350 pounds.

Electrical Notes:

- Smoke alarms shall be installed in the following locations:
 - In each sleeping room,
 - Outside each separate sleeping area in the immediate vicinity of the bedrooms,
 - On each additional story of the dwelling, including basements and habitable attics but not including crawl spaces and uninhabitable attics. (2012 IRC Section R314.3)
- Smoke alarms shall receive their primary power from the building wiring when such wiring is served from a commercial source, and when primary power is interrupted, shall receive power from a battery. Wiring shall be permanent and without a disconnecting switch other than those required for overcurrent protection. Smoke alarms shall be interconnected (2012 IRC Section R314.4)
- GFCI receptacles to be located and installed per Sections E3801 and E3802 of the 2012 IRC.
- Provide 110v receptacle and switched light in attic near HVAC equipment (2012 IRC Section M1305.1.3.1). Locate switch near (if not outside) attic access.
- Fire rated wall penetrations by electrical outlets - surface area of individual metallic outlet or switch boxes shall not exceed 16 sq. in. The aggregate surface area of boxes shall not exceed 100 sq. in. per 100 sq. ft. Boxes located on opposite sides on walls or partitions shall be separated by a horizontal distance of 24". Metallic outlet or switch boxes shall be securely fastened to the studs, and the opening in the wallboard facing shall be cut so that the clearance between the box and the wallboard does not exceed 1/8 in. (taken from UL directory, page 13) (IRC 2012, Sect. R321.3).
- Provide a Cat 5e cable to every bedroom and study.
- Provide outside main of minimum 200 amp service with minimum #12 AWG copper wire and two ground rods.

Ventilation Notes:

- Provide ventilation at all baths and utility rooms through natural or mechanical means. Minimum operable window opening is 1 1/2 sq. ft., and ventilation rate for a (intermittent) mechanical vent shall be 50 cfm. (IRC 2012, Section R303.3).

Roof Notes:

- Plate heights as noted on sheet.
- Slopes as noted on sheet.
- 1'-6" overhangs from face of studs U.N.O.
- 8" overhangs from face of studs on gable end U.N.O.
- 12" overhangs from face of studs on dormers U.N.O.
- Soffit and ridge venting per builder specifications.
- Roofing material to be Owens Corning Duration or equivalent. Color to be determined.
- Roofing material shall withstand 110 mph winds and shall have a fire resistance rating of A or B per UL790.
- Minimum 6 nails per shingle. Nail pattern per manufacturer's specifications.
- Minimize plumbing penetrations through roof decking. Plumbing vents and all other penetrations through roof decking shall be directed to back roof slope where possible.
- Color coordinate piping to roof material.

Glazing Notes:

- Glazing in wall assemblies required to be one hour rated walls shall be in accordance with 2012 IRC Section R317. Builder to determine final material and provide appropriate test criteria to local authorities.
- Glazing identification and protection in hazardous locations shall comply with Section R308 of the 2012 IRC.
- Glazing in doors and enclosures for hot tubs, whirlpools, saunas, steam rooms, bathtubs and showers shall comply with section R308 of the 2012 IRC.
- Provide safety glazing in these hazardous locations (IRC 2012 Section R308.4):
 - Glazing in tubs and showers where the bottom edge of a pane is less than 60" from any walking surface.
 - Glazing in side hinged doors except jalousies.
 - Glazing within 24" from a door and bottom of pane is less than 60" from the floor.
 - Exposed area of an individual pane greater than 9 sq. ft.
 - Bottom edge of a pane is less than 18" from floor.
 - Top edge of a pane is greater than 36" from floor (when bottom of this same pane is lower than 36" from the floor).
 - One or more walking surfaces within 36" horizontally of the glazing.
 - Glazing in stairwells where the bottom edge of a pane is less than 60" vertically from any nosing, and 60" horizontally from any stair nosing, where the edge of a pane is less than 60" above the floor.

Masonry Notes:

- All concrete masonry units shall conform to IRC 2012, Section R607.
- Mortar for concrete masonry shall be in accordance with IRC 2012, Section R609.
- Provide bond breaker at masonry bearing of all cast-in-place concrete slabs with building paper or as otherwise detailed.
- Veneer ties, if strand wire, shall not be less in thickness than No. 9 U.S. gage wire and shall have a hook embedded in the mortar joint, or if sheet metal, shall be not less than No. 22 U.S. gage by 7/8 inch corrugated. Each tie shall be spaced not more than 24 inches on center horizontally and vertically and shall support not more than 2.67 square feet of wall area (2012 IRC Section R703.7.4.1).
- Weepholes shall be provided in the outside wythe of masonry walls at a maximum spacing of 33 inches on center. Weepholes shall not be less than 3/16" in diameter. Weepholes shall be located immediately above the flashing (2012 IRC Section R703.7.6.2).
- A minimum 0.019-inch, corrosion-resistant weep screed or plastic weep screed, with a minimum vertical attachment flange of 3 1/2 inches shall be provided at or below the foundation plate line on exterior stud walls in accordance with ASTM C 926. The weep screed shall be placed a minimum of 4 inches above the earth or 2 inches above paved areas and shall be of a type that will allow trapped water to drain to the exterior of the building. The weather-resistant barrier shall lap the attachment flange, the exterior lath shall cover and terminate on the attachment flange of the weep screed (2012 IRC Section R703.7.6.2.1).
- Water-resistant barriers shall be installed as required in Section R703.2 and, where applied over wood-based sheathing, shall include a water-resistant vapor permeable barrier with a performance at least equivalent to two layers of Grade D paper (2012 IRC Section R703.6.3).
- The veneer shall be separated from the sheathing by an air space of a minimum of a nominal 1 inch but not more than 4 1/2 inches (2012 IRC Section R703.7.4.2).
- In areas subject to damage from termites as indicated by Table R301.2(1), methods of protection shall be in accordance with this section (2012 IRC Section R320.1).
- R404.1.6 Height above finished grade. Concrete and masonry foundation walls shall extend above the finished grade adjacent to the foundation at all points a minimum of 4 inches (102 mm) where masonry veneer is used and a minimum of 6 inches elsewhere.

Plumbing Notes:

- Floor drains shall have waste outlets not less than 2" in diameter and shall be provided with a removable strainer. The floor drain shall be constructed so that the drain is capable of being cleaned. Access shall be provided to the drain inlet (IRC 2012, Section P2718).
- Toilet, bath and showers shall be spaced as per figure R307.1 in the 2012 IRC.
- Provide plumbing access panel at all bathtubs (IRC 2012, P2704).
- Locate water heater(s) in attic, above load bearing partition, in a pan with relief line to outside (IRC 2012, Sections M2005, M1305.1.3, and G2406).
- All gas appliances to comply with Chapter 24 of the 2012 IRC.
- Before final plumbing inspection can be made, one plumbing ground must extend a minimum of 10' above finished slab height and contain a 10' column of water.

Water Heater Notes:

- Installation of water heater to comply with Sections P2801.2 and M2005 of the 2012 IRC.
- Provide adequate attic ventilation for gas water heater (2012 IRC Section G2407).
- Size of metal pan is determined by Section P2801.5.1 of the 2012 IRC.
- Provide decking below metal pan in accordance to Section R1307.1 of the 2012 IRC.
- Provide drain lines from pan and water heater to exterior (not to the sanitary sewer line) (2012 IRC Section P2801.5.2).
- Locate water heater on at least one (2012 IRC Sections P2801.3 & M2005):
 - partition
 - 2x6 joists at 16" o.c. (8' max. span)
- Gas water heaters in garages shall be raised on a 18" high platform, and conform to 2012 IRC Sections P2801.6 and M1307.3.1.

Fireplace Notes:

- All brick or pre-fabricated fireplaces to be built and installed per Chapter 10 of the IRC 2012. A copy of the manufacturer's installation manual shall be available on site for inspector's review.
- Chimneys to be 2'-0" (min.) above any roof line within a 10'-0" radius, or 3'-0" from any rooftop (ridge) (2012 IRC Table R1003.1, Letter "r").
- Venting of both fireplaces types shall comply to Chapter 18 of the 2012 IRC. Optional spark arresters can be installed at chimney; mesh to have max. 1/2" gap.

Stair & Guard Notes:

- Stairways, handrails and guardrails shall comply with Sections R311 and R312 of the 2012 IRC.
- Handrails to be 34" to 38" above nose of tread (2012 IRC Section R315.1).
- Guardrails at 36" to 42" above finished floor (2012 IRC Section R316.1); space between balusters at 4" max (2012 IRC Section R316.2).
- Hand gripping portion of handrails shall be not less than 1 1/4", nor more than 2 5/8" in cross section or the shape shall provide an equivalent grasping surface (2012 IRC Section R315.2).
- (One) handrail shall be continuous the full length of the stairs and shall extend not less than 6" beyond top and bottom risers, and shall terminate into a newel post or safety terminal (2012 IRC Section R315.1). Handrails adjacent to a wall shall have a space of not less than 1 1/2" between wall and rail. Handrails shall not project more than 4 1/2" on either side of the stairway (2012 IRC Section R314.1).
- If the underside of stairwell is closed off, provide 5/8" type "x" fire rated gypsum board to the underside of stairs.
- Newel post (that railing terminates into) shall be located no higher than the first tread.
- Minimum clear width between (and below) handrails shall be 27" (double), and 31 1/2" (single rail) (2012 IRC Section R314.1).
- Maximum riser height shall be 7 3/4", minimum tread depth shall be 10" (2012 IRC Section R314.2).
- Minimum headroom in all parts of the stair shall not be less than 6'-8" (finished height), measured vertically from sloped plane adjoining the tread nosing or from the floor surface of the landing or platform (2012 IRC Section R314.3).

Engineer of Record Notes:

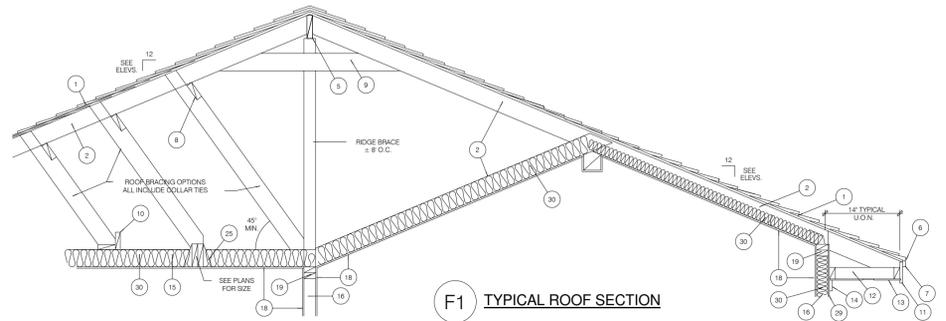
- When the local authority requires a registered engineer to provide a sealed and signed document for purposes of permitting, the engineer of record's details and schedules shall take precedence over the information shown on this sheet.

Bubble Notes on Details:

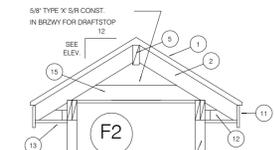
- Composition shingles (min 240#, max 360#) on 15# felt over:
 - 5/8" CDX plywood decking (typical), or
 - 5/8" 1 hour fire rated CDX plywood within 5' of prop. line
- Rafters (2x6 typ.) with lap splice as required by span. See elevations for slope. Maximum unsupported span for 2x6 rafters shall be 10'-7".
- 2x4 barge rafter w/1x6 fascia or 2x6 barge w/1x6 fascia.
- 2x6 blocking at 24" o.c.
- Ridge, hip, or valley beams to be 1 size larger than rafters
- Galvanized flashing (drip edge)
- 1x2 trim
- 2x6 continuous purlins with 2x6 braces @ 48" o.c. (tee 2x4 braces @ 48" o.c. when length exceeds 8'-0"). 2x4 runner w/2x6 strongback installed at midspan between partitions when partitions exceed 8'-0".
- 2x6 collar ties at 48" o.c.
- Metal flashing at top, down sides, & under shingles.
- 1x8 or 1x6 fascia (see plans)
- 2x4 outlooker and nailer
- 3/8" plywood soffit w/ vents @ 6'-0" o.c. max
- 1x4 trim
- Ceiling joists - all joists shall have a minimum bearing of 1 1/2" and have lateral support at ends and at each support.
- 2x4 stud wall at 16" o.c. (typ.), walls higher than 10' and walls supporting 2 floors shall have 2x6, 2 - 2x4, or 4x4 studs at 16" o.c.
- Exterior finish material as shown in 2012 IRC Table 1405.2
 - hardi-plank or equal siding, or
 - stucco or plaster
- 1/2" gypsum wallboard
- 2x24 top plate
- Subflooring - see builder or owner for selection:
 - 2x6 tongue & groove installed diagonally
 - 1-1/8" APA sturdi-floor plywood or equal
 - 3/4" APA sturdi-floor plywood
- 5/8" type "x" gypsum wallboard
- Floor joists - all joists shall have a minimum bearing of 1 1/2" and have lateral support at ends and at each support or use Simpson "U" joist metal hangers.
- One full-length layer of 1/2" type "x" gypsum wallboard laminated to each side of 1" full-length v-edge gypsum coreboard with approved laminating compound. Vertical joints of face layer and coreboard staggered at least 3" (2012 IRC Table 719.1(2), Item 9-1.1).
- Two layers of 5/8" type "x" one hour fire rated gypsum wallboard.
- Joist hanger
- Concrete masonry units; two hour rating.
- #15 asphalt felt or equal waterproofing
- 5/8" type "x" gypsum wallboard applied over item #29 and under items #17-#32.
- Exterior sheathing* - see builder or owner for selection:
 - 1/2" exterior CDX plywood covered with Tyvek.
 - 2x8" wg gypsum.
 *Rigid insulation can be placed over any exterior sheathing.
- Insulation:
 - Batt or loyence @ 3.6 R per inch of insulation.
 - Allow 2" air space above insulation over sloped ceilings and provide cardboard baffles over plates.
- n/a
- Face brick veneer - weep holes at 36" o.c. at first course
- n/a
- Brick ties at 16" o.c. both ways
- 1" Air space
- Weepholes with weep screeds
- 2x4 treated sole plate with 30# felt below and 12" up wall
- Anchor bolts per structural engineer's specifications
- Continuous band - size equal to barge rafter.
- All framing lumber shall be Southern Yellow Pine #2 or better, unless otherwise noted on plan. Studs and plates may be construction grade material. 2x6 material shall be Southern Yellow Pine #1 or better.
- Plywood sheathing shall be manufactured with exterior glue in accordance with requirements of the 2012 IRC, and American Plywood Association Standard PS1-83. The grade, thickness, and panel identification index shall be as shown on the plans.
- All glue laminated beams shall be stress graded per structural engineer's specifications
- All framing clips and devices shall be Simpson "Strong Tie" or equivalent.
- Minimum nailing for connections not indicated on the plans shall be in accordance with 2012 IRC Table 602.3
- Truss joists shall be manufactured and installed in accordance with the requirements of the manufacturer.
- All nails shall be common, unless otherwise noted.
- Posts used for beam or girder supports shall have full bearing to the foundation, unless otherwise noted.
- Timber sizes prescribed are minimum. Larger sizes may be substituted. Detailed connections may require modification if substitutions are made.
- Provide 2-2x6 strongback on all spans over 8'-0" located at midpoint of span.
- Provide double joists under all parallel partitions
- Provide diagonal corner bracing per 2012 IRC Table 602.10.3 or 1/2" CDX plywood per 2012 IRC Table 602.10.3.
- Recommend expanding foam sealer (Polysel or equal) to seal all possible infiltration.
- 1x3 or solid 2x12 cross bridging on spans over 10'-0"
- Provide fire breaks in walls greater than 10'-0" in height, and on both side of all floor penetrations. Install fire breaks at each end of breezeways when the breezeway is connected to 2 separate structures.

Roof & Wall Details

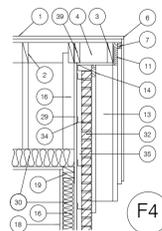
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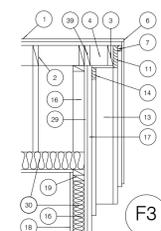
F1 TYPICAL ROOF SECTION



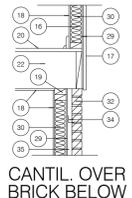
BREEZWAY DETAIL



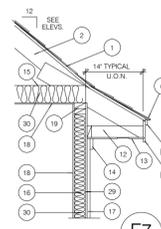
RAKE DETAIL WITH BRICK



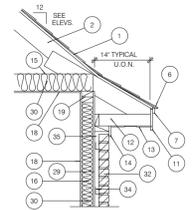
RAKE DETAIL WITHOUT BRICK



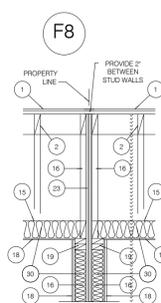
CANTIL OVER BRICK BELOW



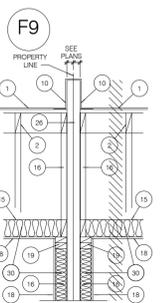
NON-BRICK WALL SECTION



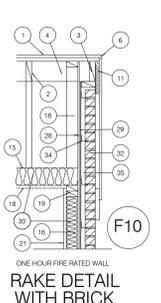
BRICK WALL SECTION



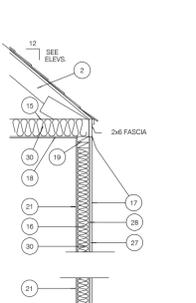
RAKE DETAIL WITH BRICK WITHIN 3' OF PL.



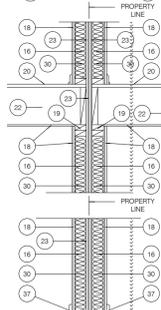
RAKE DETAIL WITHOUT BRICK WITHIN 3' OF PL.



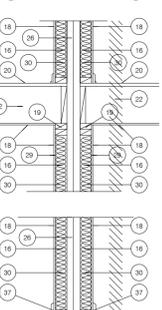
RAKE DETAIL WITH BRICK WITHIN 3' OF PL.



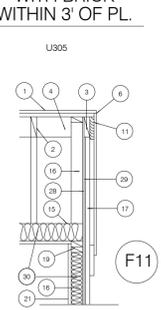
1 HR. EXT. WALL



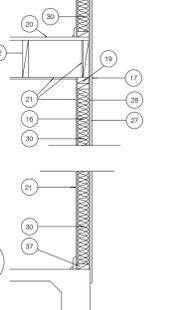
2x4 STUD PARTY WALL



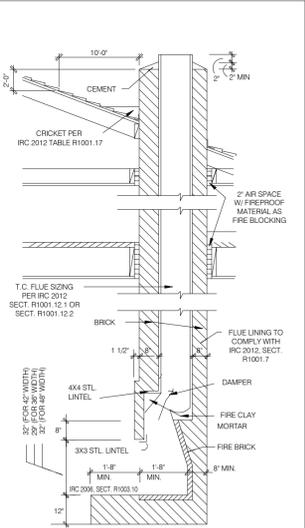
CONCRETE BLOCK PARTY WALL



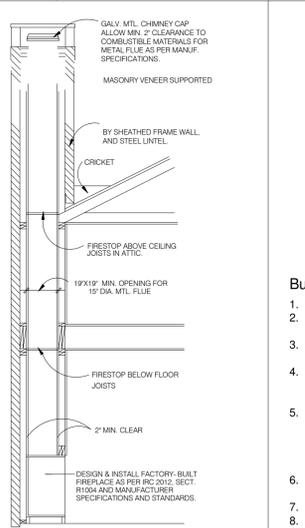
RAKE DETAIL WITHOUT BRICK WITHIN 3' OF PL.



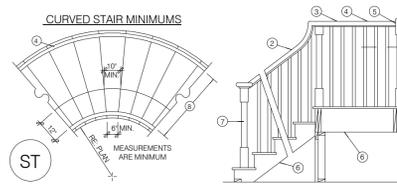
1 HR. EXT. WALL



M1 MASONRY



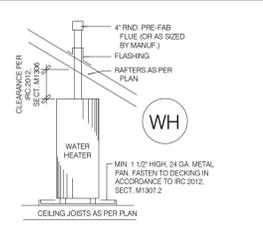
M2 FACTORY-BUILT



ST CURVED STAIR MINIMUMS

Bubble Notes on Details:

- STAIRWAYS SHALL COMPLY WITH 2012 IRC SECTIONS R312, R314, R315, AND R316
- HANDRAILS TO BE 34" TO 38" ABOVE NOSE OF TREAD (2012 IRC SECTION R316.1). SPACE BETWEEN BALUSTERS AT 4" MAX (2012 IRC SECTION R316.2).
- GUARDRAILS AT 36" TO 42" ABOVE FINISHED FLOOR (2012 IRC SECTION R316.1). SPACE BETWEEN BALUSTERS AT 4" MAX (2012 IRC SECTION R316.2).
- HAND GRIPPING PORTION OF HANDRAILS SHALL BE NOT LESS THAN 1 1/4" AND NOT MORE THAN 2 5/8" IN CROSS SECTION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRASPING SURFACE (2012 IRC SECTION 315.2).
- (ONE) HANDRAIL SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS AND SHALL EXTEND NOT LESS THAN 6" BEYOND TOP AND BOTTOM RISERS, AND SHALL TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL (2012 IRC SECTION R314.1).
- IF THE UNDERSIDE OF STAIRWELL IS CLOSED OFF, PROVIDE 5/8" TYPE "X" FIRE RATED GYPSUM BOARD TO UNDERSIDE OF STAIRS.
- NEWEL POST (THAT RAILING TERMINATES INTO) SHALL BE LOCATED NO HIGHER THAN THE FIRST TREAD.
- MAXIMUM CLEAR WIDTH BETWEEN (AND BELOW) HANDRAILS SHALL BE 27" (DOUBLE) AND 31 1/2" (SINGLE RAIL) (2012 IRC SECTION R314.1).
- MAXIMUM RISER HEIGHT SHALL BE 7 3/4". MINIMUM TREAD DEPTH SHALL BE 10" (2012 IRC SECT. R314.2).
- MINIMUM HEADROOM IN ALL PARTS OF THE STAIR SHALL NOT BE LESS THAN 6'-8" (FINISHED HEIGHT) AS MEASURED VERTICALLY FROM SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM (2012 IRC SECTION R314.3).



WH WATER HEATER

Fireplace Details

Not To Scale

Stair & Guard Details

Not To Scale

Water Heater Details

Not To Scale

Richard Grohues Designs, Inc.
 Residential Commercial Land Planning
 8754 Davenport Lane
 Houston, TX 77041-9791 Fax: 281.985.6907
 Phone: 281.985.6907

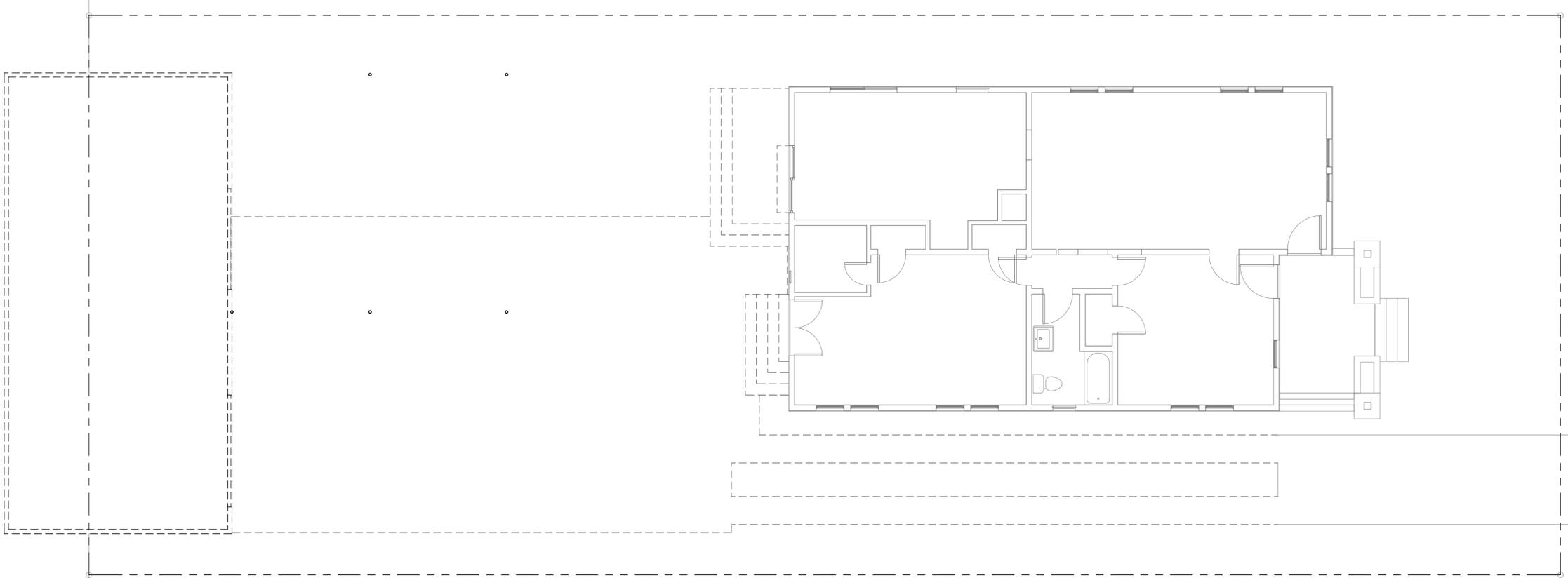
LIGHT HILL PARTNERS
REMODEL/ADDITION
 1515 COLUMBIA STREET

Last Modified: 8/2/2016 2:21:14 PM
 Last Plot:
 Job Number: 2016.0049
 Sheet Name: General Notes
 Sheet Number:

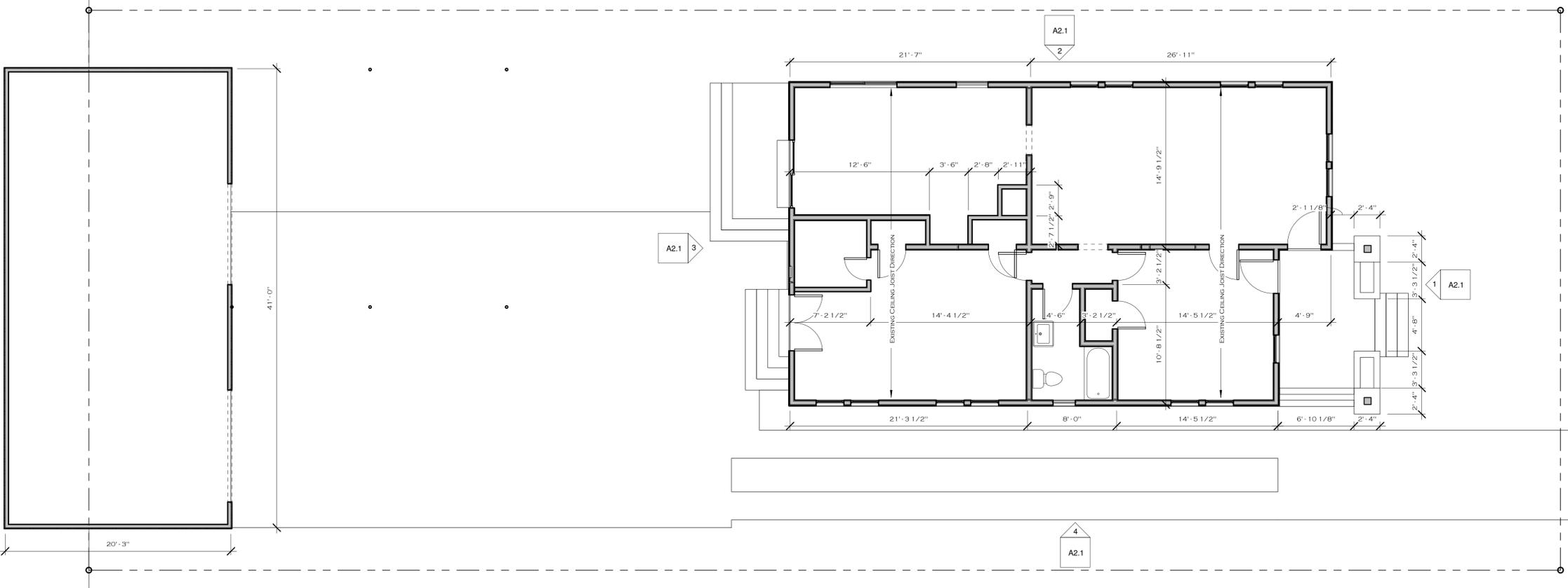
A1.0

EMERGENCY ESCAPE AND RESCUE OPENINGS

1. BASEMENTS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING.
2. WHERE EMERGENCY ESCAPE AND RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
3. ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. EXCEPTION: GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET.
4. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES.
5. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES.
6. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE.



② FIRST FLOOR PLAN
3/16" = 1'-0"

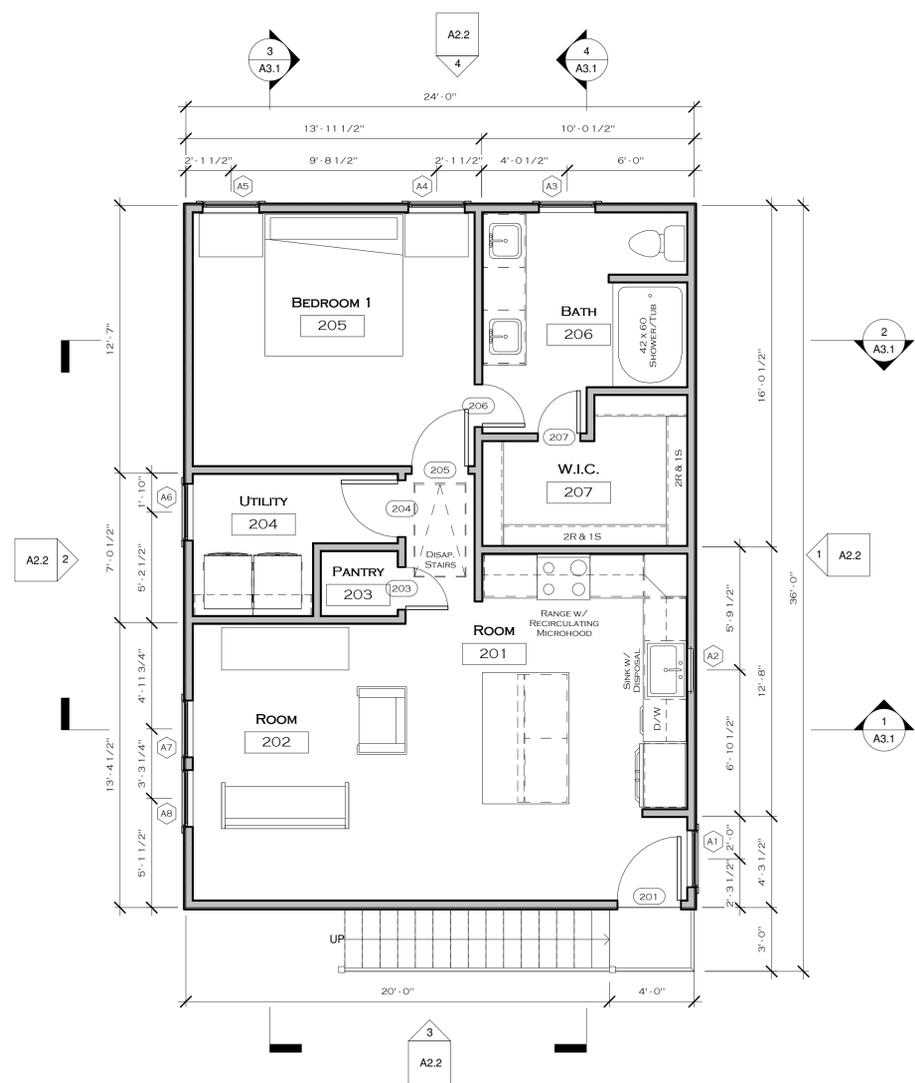


① FIRST FLOOR PLAN
3/16" = 1'-0"

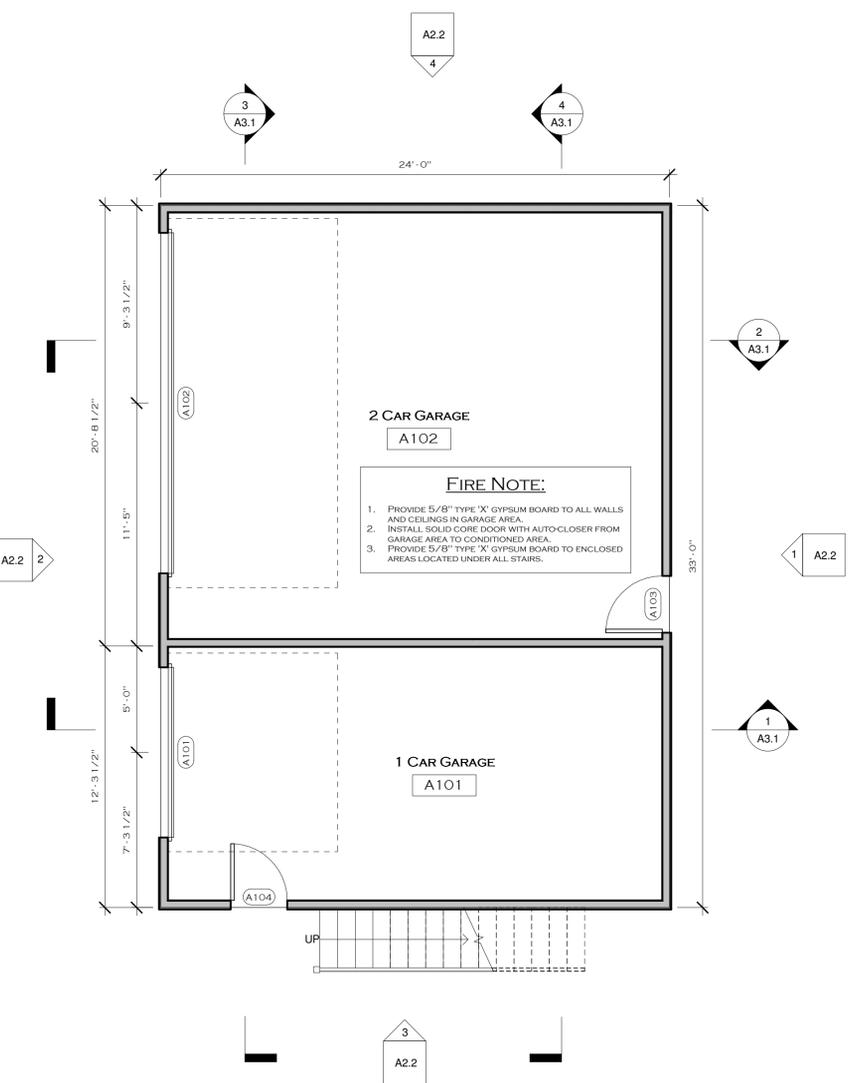
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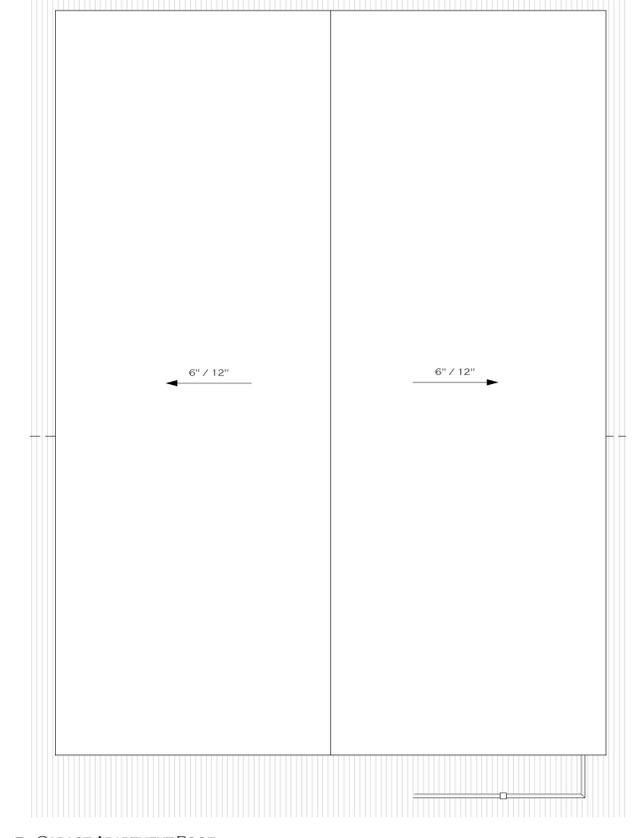
AREA SCHEDULE	
NAME	AREA
ADDITION	658 SF
EXISTING HOUSE	1329 SF
GARAGE APARTMENT	792 SF
FLOOR AREA	2779 SF
EXISTING PORCH	106 SF
GARAGE	792 SF
REAR PORCH	243 SF
EXTERIOR AREA	1141 SF
GRAND TOTAL	3920 SF



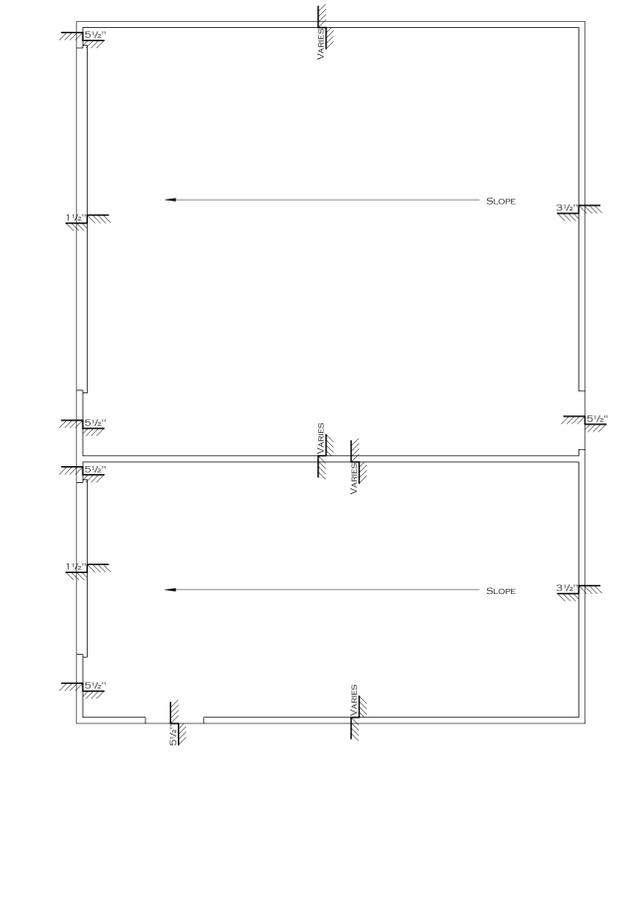
3 GARAGE APARTMENT-2ND FLOOR
1/4" = 1'-0"



2 FIRST FLOOR PLAN
1/4" = 1'-0"



4 GARAGE APARTMENT-ROOF
1/4" = 1'-0"



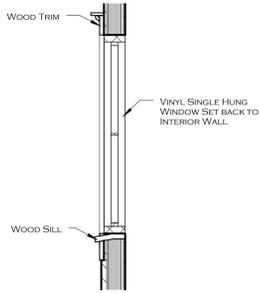
1 GARAGE APARTMENT-FOUNDATION
1/4" = 1'-0"

LIGHT HILL PARTNERS
REMODEL/ADDITION
 1515 COLUMBIA STREET

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WINDOW SCHEDULE (ALL NEW WINDOWS TO BE RECESSED TO MAINTAIN THE LOOK OF ORIGINAL WOOD WINDOWS)

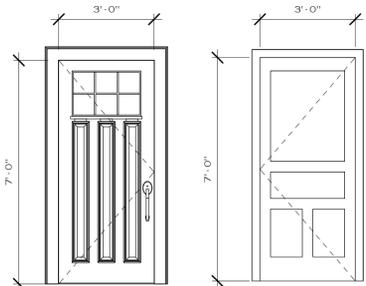
MARK	WIDTH	HEIGHT	SILL HEIGHT	HEAD HEIGHT	OPERATION	COMMENTS	WINDOW MATERIAL	TRIM MATERIAL
101	2'-6"	4'-8"	2'-4"	7'-0"	SINGLE HUNG	EXISTING TO BE REPLACED (SAME SIZE)	VINYL	WOOD
102	2'-6"	4'-8"	2'-4"	7'-0"	SINGLE HUNG	EXISTING TO BE REPLACED (SAME SIZE)	VINYL	WOOD
103	2'-6"	4'-8"	2'-4"	7'-0"	SINGLE HUNG	EXISTING TO BE REPLACED (SAME SIZE)	VINYL	WOOD
104	2'-6"	4'-8"	2'-4"	7'-0"	SINGLE HUNG	EXISTING TO BE REPLACED (SAME SIZE)	VINYL	WOOD
105	2'-6"	4'-8"	2'-4"	7'-0"	SINGLE HUNG	EXISTING TO BE REPLACED (TEMPERED SAME SIZE)	VINYL	WOOD
106	2'-6"	4'-8"	2'-4"	7'-0"	SINGLE HUNG	EXISTING TO BE REPLACED (TEMPERED SAME SIZE)	VINYL	WOOD
107	2'-6"	4'-8"	2'-4"	7'-0"	CASEMENT	EXISTING TO BE REPLACED W/ SAME SIZE CASEMENT WINDOW FOR EGRESS	VINYL	WOOD
108	3'-0"	5'-0"	2'-0"	7'-0"	SINGLE HUNG	EGRESS	VINYL	WOOD
109	3'-0"	5'-0"	2'-0"	7'-0"	SINGLE HUNG	EGRESS	VINYL	WOOD
110	2'-6"	4'-8"	2'-4"	7'-0"	SINGLE HUNG	EXISTING TO BE REPLACED (SAME SIZE)	VINYL	WOOD
111	2'-6"	4'-8"	2'-4"	7'-0"	SINGLE HUNG	EGRESS	VINYL	WOOD
112	4'-0"	4'-0"	3'-0"	7'-0"	FIXED	OBSCURE TEMPERID	VINYL	WOOD
113	2'-0"	3'-0"	4'-0"	7'-0"	SINGLE HUNG	EXISTING TO BE REPLACED (SAME SIZE)	VINYL	WOOD
114	2'-6"	4'-8"	2'-4"	7'-0"	SINGLE HUNG	EGRESS	VINYL	WOOD
115	2'-6"	4'-8"	2'-4"	7'-0"	SINGLE HUNG	EGRESS	VINYL	WOOD
116	2'-6"	4'-8"	2'-4"	7'-0"	SINGLE HUNG	EXISTING TO BE REPLACED (SAME SIZE)	VINYL	WOOD
117	2'-6"	4'-8"	2'-4"	7'-0"	SINGLE HUNG	EXISTING TO BE REPLACED (SAME SIZE)	VINYL	WOOD
118	2'-6"	4'-8"	2'-4"	7'-0"	SINGLE HUNG	EXISTING TO BE REPLACED (SAME SIZE)	VINYL	WOOD
119	2'-6"	4'-8"	2'-4"	7'-0"	SINGLE HUNG	EXISTING TO BE REPLACED (SAME SIZE)	VINYL	WOOD
120	2'-6"	4'-8"	2'-4"	7'-0"	SINGLE HUNG	EXISTING TO BE REPLACED (SAME SIZE)	VINYL	WOOD
121	2'-0"	3'-0"	4'-0"	7'-0"	SINGLE HUNG	EXISTING TO BE REPLACED (SAME SIZE)	VINYL	WOOD
122	2'-6"	4'-8"	2'-4"	7'-0"	SINGLE HUNG	EXISTING TO BE REPLACED (SAME SIZE)	VINYL	WOOD
123	2'-6"	4'-8"	2'-4"	7'-0"	SINGLE HUNG	EXISTING TO BE REPLACED (SAME SIZE)	VINYL	WOOD



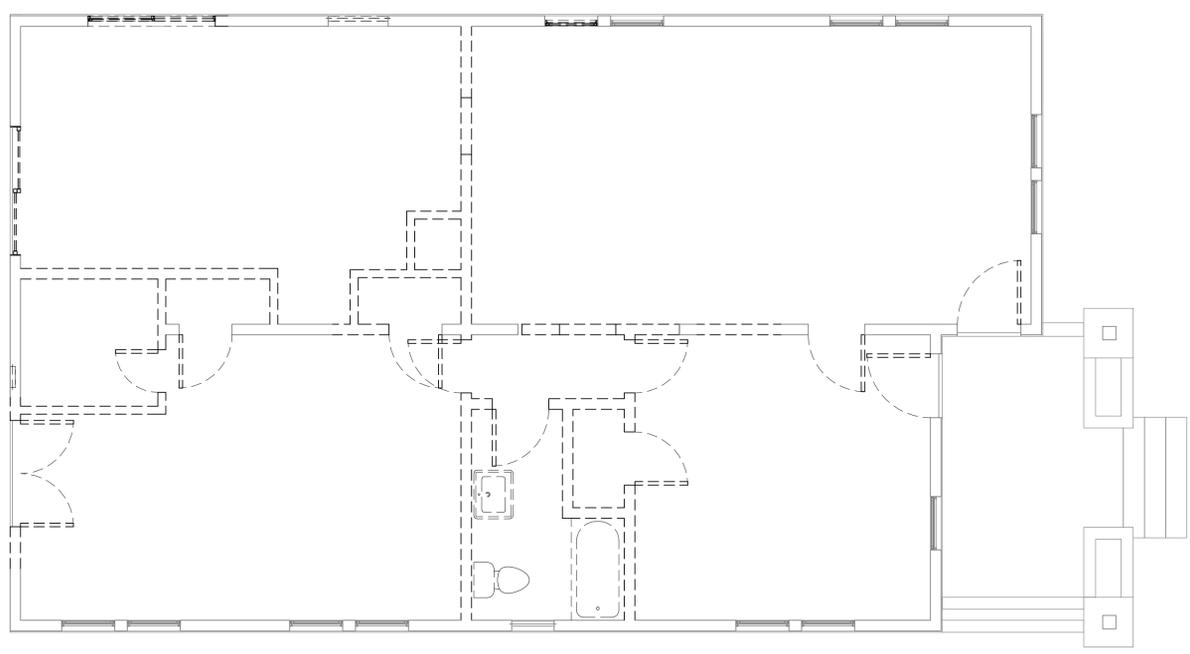
3 WINDOW SECTION
1/2" = 1'-0"

DOOR SCHEDULE 1

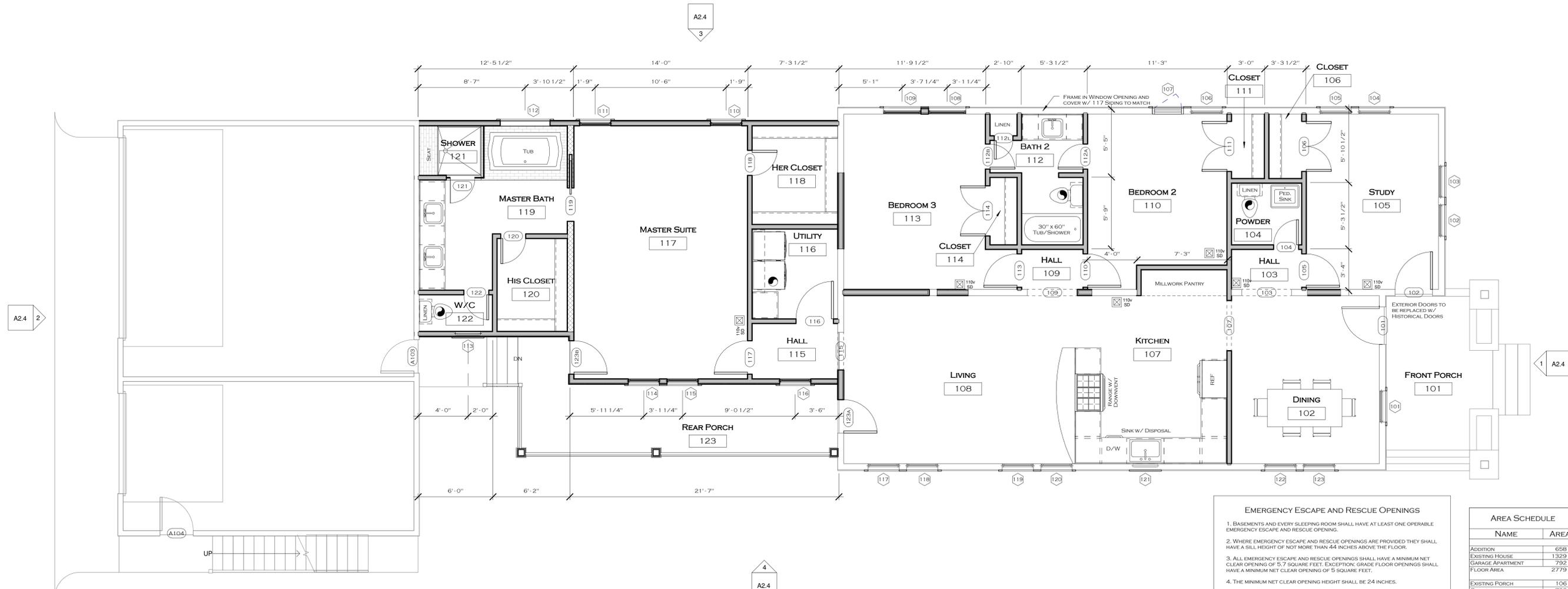
MARK	WIDTH	HEIGHT	HAND	HARDWARE	COMMENTS
101	5'-2"	7'-0"	RIGHT	DEADBOLT & LOCKSET	THRESHOLD/WEATHERSTRIPPING
102	3'-0"	7'-0"	RIGHT	DEADBOLT & LOCKSET	THRESHOLD/WEATHERSTRIPPING
103	4'-0"	6'-8"			CASED OPENING
104	2'-0"	8'-0"	RIGHT	PRIVACY	
105	2'-8"	6'-8"	RIGHT	PRIVACY	
106	4'-0"	6'-8"	DOUBLE	PASSAGE	
107	4'-0"	6'-8"			CASED OPENING
109	4'-0"	6'-8"			CASED OPENING
110	2'-8"	6'-8"	RIGHT	PRIVACY	
111	4'-0"	6'-8"	DOUBLE	PASSAGE	
112A	2'-0"	8'-0"	LEFT	PRIVACY	
112B	2'-0"	6'-8"	RIGHT	PRIVACY	
112L	1'-6"	6'-8"	RIGHT	PASSAGE	
113	2'-8"	6'-8"	LEFT	PRIVACY	
114	4'-0"	6'-8"	DOUBLE	PASSAGE	
115	3'-0"	6'-8"			CASED OPENING
116	3'-0"	6'-8"	RIGHT	PASSAGE	
117	2'-8"	6'-8"	LEFT	PRIVACY	
118	2'-0"	6'-8"			PASSAGE
119	2'-8"	6'-8"	POCKET	PRIVACY	
120	2'-0"	8'-0"	RIGHT	PASSAGE	
121	2'-0"	6'-6"	RIGHT	PASSAGE	TEMPERED GLASS SHOWER DOOR
122	2'-0"	8'-0"	LEFT	PRIVACY	



PROPOSED NEW EXTERIOR DOORS
3/8" = 1'-0"



1 DEMO PLAN
1/4" = 1'-0"



2 FIRST FLOOR PLAN
1/4" = 1'-0"

EMERGENCY ESCAPE AND RESCUE OPENINGS

- BASEMENTS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING.
- WHERE EMERGENCY ESCAPE AND RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
- ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. EXCEPTION: GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET.
- THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES.
- THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES.
- EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE.

AREA SCHEDULE	
NAME	AREA
ADDITION	658 SF
EXISTING HOUSE	1329 SF
GARAGE/ APARTMENT	792 SF
FLOOR AREA	2779 SF
EXISTING PORCH	106 SF
GARAGE	792 SF
REAR PORCH	243 SF
EXTERIOR AREA	1141 SF
GRAND TOTAL	3920 SF

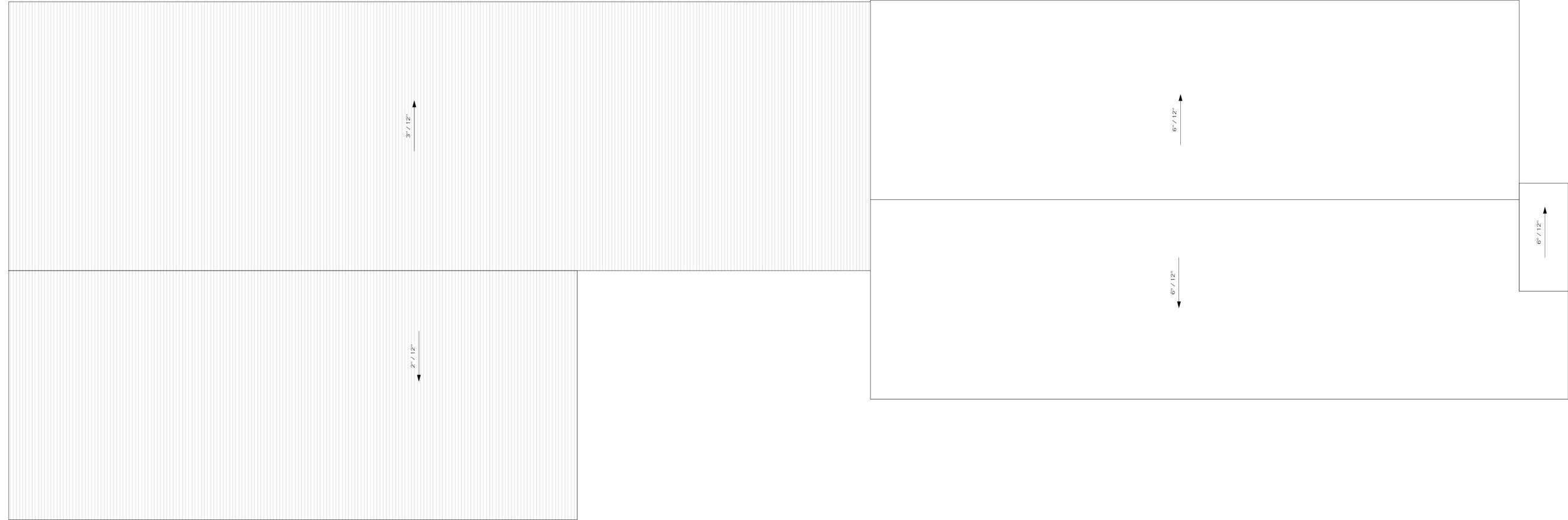
Richard Gallucci Designs, Inc.
 AI BD Member
 Residential Commercial Land Planning
 8754 Dawsburgh Lane
 Phone: 754.449.9791 Fax: 754.895.6007

LIGHT HILL PARTNERS
REMODEL/ADDITION
 1515 COLUMBIA STREET

Last Modified: 8/2/2016 2:21:15 PM
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 Sheet Name: Addition Floor Plans
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A1.3

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① EXISTING ROOF PLAN
1/4" = 1'-0"



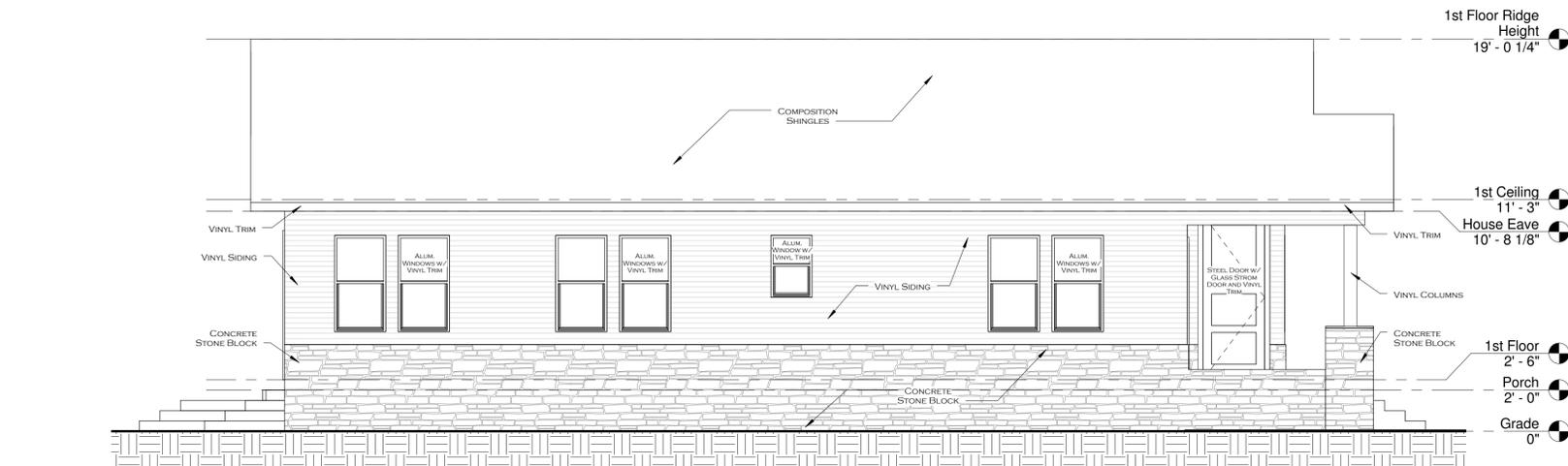
② ADDITION ROOF
1/4" = 1'-0"



LIGHT HILL PARTNERS
REMODEL / ADDITION
1515 COLUMBIA STREET

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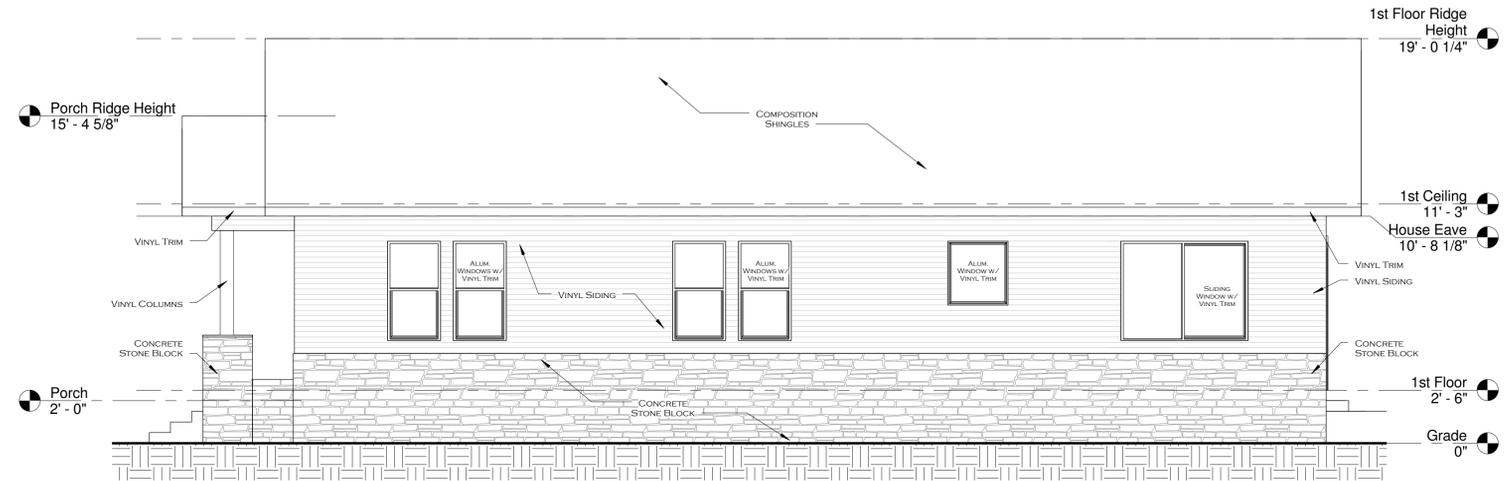
LIGHT HILL PARTNERS
REMODEL/ADDITION
 1515 COLUMBIA STREET



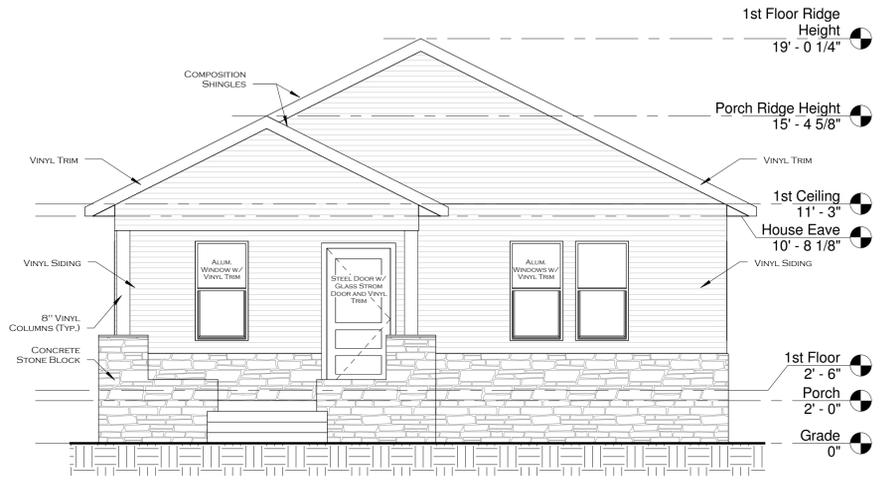
4 EXISTING SOUTH ELEVATION
 1/4" = 1'-0"



3 EXISTING WEST ELEVATION
 1/4" = 1'-0"



2 EXISTING NORTH ELEVATION
 1/4" = 1'-0"



1 EXISTING EAST ELEVATION
 1/4" = 1'-0"

Ridge Height
26' - 6 1/4"

Eave Height
19' - 7 1/4"



4 SOUTH ELEVATION
1/4" = 1'-0"

NOTE: ALL EXISTING MATERIALS TO REMAIN
REPAIR DAMAGED AREAS AS NEEDED WITH
MATCHING MATERIALS

1st Floor Ridge
Height
19' - 0 1/4"

Porch Ridge Height
15' - 4 5/8"

1st Ceiling
11' - 3"

House Eave
10' - 8 1/8"

1st Floor
2' - 6"

Porch
2' - 0"

Grade
0"

1st Floor Ridge
Height
19' - 0 1/4"

Porch Ridge Height
15' - 4 5/8"

1st Ceiling
11' - 3"

House Eave
10' - 8 1/8"

1st Floor
2' - 6"

Porch
2' - 0"

Grade
0"

NOTE: ALL EXISTING MATERIALS TO REMAIN
REPAIR DAMAGED AREAS AS NEEDED WITH
MATCHING MATERIALS

EXISTING COMPOSITION
SHINGLES TO REMAIN

EXISTING 117 WOOD
SIDING TO REMAIN

EXISTING CONCRETE STONE
BLOCK TO REMAIN

EXISTING 8" VINYL COLUMNS
TO REMAIN

EXISTING WOOD TRIM TO REMAIN

Ridge Height
26' - 6 1/4"

Eave Height
19' - 7 1/4"

3 NORTH ELEVATION
1/4" = 1'-0"

Ridge Height
26' - 6 1/4"

Eave Height
19' - 7 1/4"

1st Ceiling
11' - 3"

House Eave
10' - 8 1/8"

1st Floor
2' - 6"

Porch
2' - 0"

Grade
0"

2 WEST ELEVATION
1/4" = 1'-0"

Eave Height
19' - 7 1/4"

Ridge Height
26' - 6 1/4"

1st Floor Ridge
Height
19' - 0 1/4"

Porch Ridge Height
15' - 4 5/8"

1st Ceiling
11' - 3"

House Eave
10' - 8 1/8"

1st Floor
2' - 6"

Porch
2' - 0"

Grade
0"

1 EAST ELEVATION
1/4" = 1'-0"

NOTE: ALL EXISTING MATERIALS TO REMAIN
REPAIR DAMAGED AREAS AS NEEDED WITH
MATCHING MATERIALS

EXISTING WOOD
TRIM TO REMAIN

EXISTING 117 WOOD
SIDING TO REMAIN

EXISTING 8" VINYL COLUMNS
TO REMAIN

EXISTING
CONCRETE
STONE BLOCK
TO REMAIN

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